

**Appendix C**  
Proposed New or Revised  
Local Laws and Regulations



# VILLAGE OF CLAYTON RIVERWALK DISTRICT C DESIGN GUIDELINES

March 26, 2010

## TOPICS

- 1.0 Purpose
- 2.0 Applicability
- 3.0 Site Planning
- 4.0 Parking and Circulation
- 5.0 Architectural Design Guidelines
- 6.0 Utilitarian Aspects of Buildings
- 7.0 Lighting
- 8.0 Landscaping

### 1.0 PURPOSE

The goal of this document is to provide an established set of clear and usable design guidelines and criteria for creating an energetic waterfront Village experience in the Riverwalk C District. These guidelines should assist the designer in developing an acceptable site and building design based on the existing scale and pedestrian character of the Village. These guidelines are intended to be flexible and allow creativity and variation in the design of buildings and to encourage an overall pedestrian oriented streetscape.

### 2.0 APPLICABILITY

The provisions of this section shall apply to all development within the Riverwalk C District (see Figure 1). Any addition, remodeling, relocation, or construction requiring a building permit within the Riverwalk C District shall adhere to these guidelines. The design elements of each project, such as site layout, architecture, landscaping, and parking design, will be reviewed on a comprehensive basis. The Village of Clayton may interpret these design guidelines with some flexibility in their application to specific projects. The guidelines will be utilized during the Village's site plan review process to encourage the highest level of design quality, while at the same time providing the flexibility necessary to encourage creativity on the part of the project designers. The overall objective is to ensure that the intent and spirit of the guidelines are followed. Unless there is a compelling reason, these guidelines shall be followed. Generally, the Village will not waive a guideline unless the project designer can demonstrate that such a waiver will facilitate an innovative or otherwise preferable design concept.

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*Figure 1: Riverwalk C District boundary within the Village of Clayton.*

## 3.0 SITE PLANNING

Site planning refers to the arrangement of buildings and parking areas, the size and location of pedestrian spaces and landscaping, and how these features relate to one another. Site design addresses the scale and size of outdoor spaces, spaces between buildings and parking areas and the relationship of site elements that create a comfortable pedestrian environment.

- 1) Pedestrian linkages to nearby neighborhoods and properties should be provided whenever appropriate and feasible.
- 2) On larger sites, focal points should be developed to create a definite sense of identification. Plazas, landscape, artwork, textured pavement, universally accessible changes in pavement levels, and vertical building features may be combined to create focal points and identity.
- 3) Site plans should balance the need to provide adequate vehicular access, with the need to eliminate unnecessary driveway entrances and provide access points that are coordinated with other properties.
- 4) Each project is encouraged to have its own identity, yet any site development should integrate with adjacent properties to provide functional and aesthetically designed vehicular and pedestrian circulation. (See Figure 2).
- 5) Buildings should be sited and designed so that there are no barriers or other elements emphasizing property boundaries. Care should be taken when addressing

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- the interface between two or more properties. Property lines should not be treated as walls and barriers.
- 6) Buildings should be oriented to maximize views of the waterfront and create and define usable outdoor spaces.
  - 7) Due to the high visibility of corner properties, extra care should be given to building orientation and articulation (see section 5.2 Corner Buildings). Significant buildings with prominent architectural features should be located near corners and intersections whenever possible.
  - 8) Buildings should be sited close to the street with their front facades facing the street similar to existing traditional village buildings.
  - 9) Plazas and open spaces should be designed to be welcoming and inviting to visitors.
  - 10) Site furniture and light fixtures should reflect the same design concepts as the public right-of-way street furniture.



**Figure 2:** Example build-out plan for the Frink America Property within the Riverwalk C District. Note the plan's integration of the existing street grid pattern and building masses that relate to adjacent properties.

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## 4.0 PARKING AND CIRCULATION

This section is intended to ensure that parking lot designs are attractive and functional while at the same time meeting parking regulations.

- 1) Whenever possible new construction should accommodate inside the block surface parking lots with adequate directional signage at the street edge.
- 2) Rear entrances to buildings should be provided where inner-block parking is provided.
- 3) Parking lots should provide areas for bicycle and motorcycle parking.
- 4) Driveways to parking lots should be located as far from street intersections as possible so that adequate stacking room along the street is maintained. A minimum distance of 100 feet is recommended.
- 5) Where possible, the entrance to parking lots should be located on side streets to maintain the pedestrian flow and avoid conflicts between vehicles and pedestrians on the main frontage.
- 6) Limit the number of curb cuts on public streets. Common driveways that provide access to more than one site are encouraged.
- 7) Shared parking between adjacent businesses and/or developments is encouraged so long as parking for businesses does not adversely impact adjacent residential areas.
- 8) When walls are used to screen parking, breaks should be provided to allow pedestrian circulation, and the walls should be low enough for safety and security purposes. Walls need to be finished and designed to compliment surrounding development.

## 4.1 Parking Lot Area Planting

Landscaping within parking lots should be given special consideration. These areas are typically located out of the public right-of-way and may contain different planting materials than a neighboring street. To this end, these guidelines should provide a parking lot designer with the direction needed to create a functional environment that will blend with the Village areas.

- 1) Appropriate lighting and landscaping should be provided as per Village standards, including shade trees and lamp posts based on the existing Village style (see section 7.0 Lighting).
- 2) Landscaping should be provided at the rear of buildings next to parking areas.
- 3) A 5-foot minimum landscaping buffer should be provided between parking areas and public rights-of-way.
- 4) Trees should be located throughout a parking lot and not merely at the ends of parking rows.
- 5) Landscaping within parking areas should be protected from encroaching vehicles by granite curbing.

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- 6) Trash enclosures and loading areas provided in the parking areas should be screened with landscaping or wall materials.
- 7) The height of landscaping adjacent to parking stalls is important to allow the opening of side doors and to allow for vehicle overhang.
- 8) Landscape islands should be a minimum of 9' in width to allow for tree growth and to avoid tree trunks from being hit.

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## 5.0 ARCHITECTURAL DESIGN GUIDELINES

The intent of these architectural guidelines is to promote the continuation of the pedestrian-oriented characteristics of the Village. No single particular architectural theme is being promoted, but rather the emphasis is to promote variety with a respect for the existing historically important buildings and patterns prevalent in the existing Village (see Figure 3). Caution should be exercised when considering architectural styles that have recently become popular (i.e. “trendy”), but have not yet stood the test of time. Historic styles that cannot be faithfully replicated should be avoided.



*Figure 3: Existing architectural character surrounding the Riverwalk C District.*

### 5.1 Building Form

Building forms and facades influence cohesiveness, comfort, and aesthetic pride and at the same time can encourage shopping, increase a sense of security, and generate pedestrian activity. Where commercial buildings are neighbors to residential buildings or where infill buildings are being constructed, consideration of scale, detail and materials is very important. At the same time any good design must take into consideration some fundamental design principals including continuity, proportion, mass, scale and rhythm. See Figures 4, 5, and 6 for illustrative examples of appropriate building form.

The following guidelines are intended to provide a general framework for design, and do not mandate specific architectural styles, themes or details. The Village will be open to considering innovative, alternative design concepts that were not envisioned at the time that these guidelines were written, and may not fully comply with all of the criteria set forth below.

#### 5.1.1 Continuity

Continuity among individual buildings in the Riverwalk C District contributes to community identity, levels of pedestrian activity, and economic vitality.



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- 1) As the Riverwalk C District develops, each subsequent building project should reflect the existing form, scale, and proportion (relationship of height and width) of the adjacent buildings that helped establish the design context for the area.
- 2) Street facing facades should be broken down into a series of appropriate proportioned structural bays or components. Commercial street facade rhythm helps to tie the downtown streets together visually.
- 3) New buildings are recommended to be no more than one story higher or lower than their neighboring building.

### 5.1.2 Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, pyramid, and core. The way the forms are sized directly relates to the way building elements are emphasized or de-emphasized. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.

- 1) Each building should have a recognizable base, body, roofline, and entry.
- 2) Several smaller buildings rather than one large building should be used to provide an intimate scale.
- 3) Varying materials between base and body of a building can break long wall planes.
- 4) Changes in vertical planes break up a boxlike appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- 5) Spaces in commercial buildings should be designed so that they can be leased to more than one tenant.
- 6) Surface detailing should not serve as a substitute for distinctive massing.
- 7) Massing design may include:
  - a. Variation in the wall plane (project and recess)
  - b. Variation in wall height
  - c. Roofs located at different levels
- 8) New development should express its own uniqueness of location, tenant, or structure, designed especially for the particular building site and not as a copy of a generic building type which might be used anywhere.
- 9) The use of corporate “chain” architecture detracts from the unique character of the Village and is strongly discouraged. Corporate tenants will be required to design their buildings to fit the scale and character of the Village.
- 10) Upper floors may be appropriate for varied setbacks to accommodate balconies, seating and other architectural treatments.
- 11) Tall dominating structures should be broken up by creating horizontal emphasis through the use of trim, awnings, eaves, or other ornamentation, and by using a combination of complimentary colors.
- 12) Recessed entries and articulation in storefront massing should be used.

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### 5.1.3 Scale

Scale is the proportion of one object to another. "Human" or "intimate" scale incorporates building and landscape elements that are modest in size. "Monumental" scale incorporates large or grand building elements. Buildings within the Village of Clayton Riverwalk C District must incorporate human scale elements.

- 1) Architectural details and materials on lower walls that relate to human scale such as arches, trellises, or awnings should be utilized.
- 2) Articulated storefronts with carefully arranged doors, windows, arches, trellises or awnings, rather than blank walls, should face onto pedestrian spaces and streets.
- 3) Projections and recesses are encouraged to add texture and differentiation between buildings. These elements could include bay windows or recessed storefronts that are large enough to accommodate seating for outdoor seating and/or to observe passers-by. Entry portals proportional to the buildings with columns and a detailed roof or balcony also add texture.

### 5.1.4 Rhythm

Rhythm describes the relationship of building components, as well as the relationship of individual buildings to one another.

- 1) Rhythms should be more complex than simply the repetition of one or more architectural details.
- 2) Traditional horizontal rhythm intervals generally do not exceed 25 to 30 feet at the ground level, irrespective of a building's total width. Continuation of this familiar, human-scaled rhythm is encouraged in new construction.
- 3) Changing materials or color may express rhythm.

### 5.1.5 Proportion

The ratio of one dimension to another, such as the width of a building to its height defines its proportion. Unequal proportions can create horizontal or vertical emphasis.

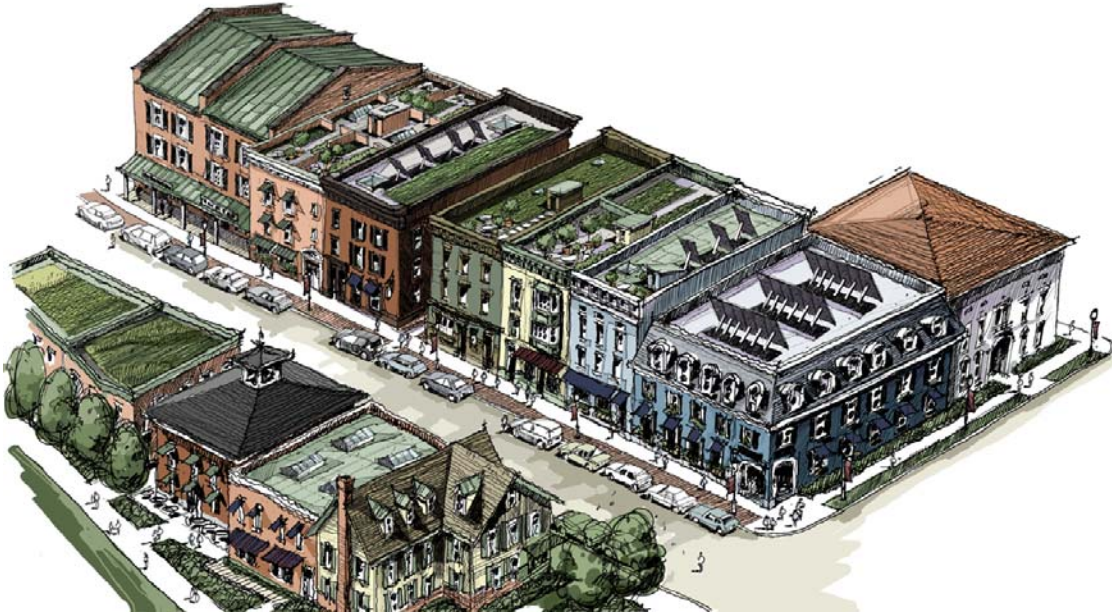
- 1) Architectural proportions that have stood the test of time should be utilized.
- 2) Proportions that have historically been related to the selected architectural style should be utilized.

### 5.1.6 Balance

The visual equality between elements describes its balance. Harmonious visual impact is critical regardless if building elements are symmetrical or asymmetrical.

- 1) Building elements should be either symmetrical or asymmetrical.
- 2) All building elements should be consistent with the organization method selected. For example, a symmetrical element should not be juxtaposed into an asymmetrical design, or vice-versa.

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*Figure 4: Illustration of appropriate mixed-use type building form within the Riverwalk C District.*



*Figure 5: Illustration of appropriate hotel type building form within the Riverwalk C District.*

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*Figure 6: Illustration of appropriate residential type building form within the Riverwalk C District.*

**5.2 Corner Buildings**

- 1) Buildings located at major street corners should incorporate special architectural elements that create an emphasis of importance of that location. Such elements may include vertical projections, i.e., towers or taller, prominent rooftop elements, etc.
- 2) Parking lots on corner sites are discouraged.
- 3) Blank walls on corner building sides that face streets are discouraged.

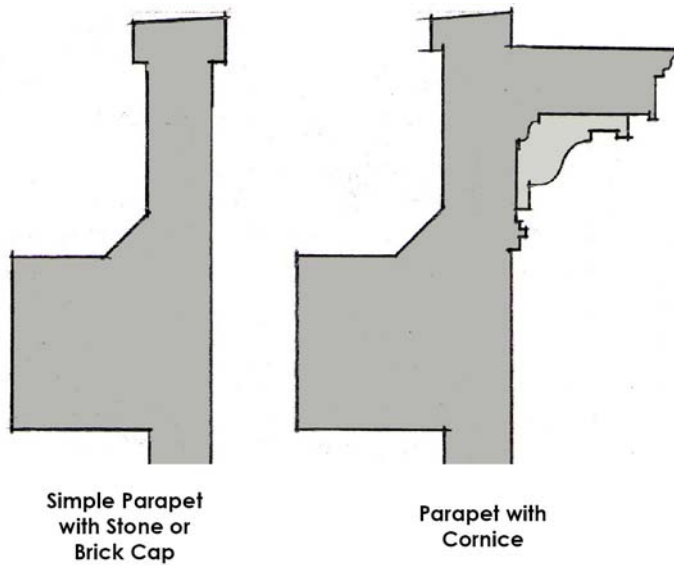
**5.3 Roof Forms**

- 1) Multi-form roofs, gabled, and shed roof combinations are encouraged to create an interesting and varying roof form that will lessen the mass of the building, and add visual appeal. Sloping roofs should ensure the fall of snow, ice or rain does not create a hazard for pedestrians.

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- 2) Roof materials and colors are important aspects of the overall building design. They should be internally consistent with the desired architecture and complementary to adjacent structures (see section 5.6 Building Materials and Texture).
- 3) Flat roofs should be surrounded by a horizontal parapet wall. Parapets on the front façade should have sufficient articulation of detail such as precast treatments, continuous banding or projecting cornices, dentils, caps, corner details, or variety in pitch (sculpted). Simple parapets with a stone or brick cap are allowed on rear and side elevations. (See Figure 7). Structural stability and the height of a parapet shall be coordinated with the placement of mechanical equipment so that equipment is not in a pedestrian's line of sight from street level.



*Figure 7: Illustration of recommended roof parapet profile.*

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### 5.4 Entries and Doorways

It is important that the main entrance to a building is clearly identifiable and unique. It is the primary point of arrival and should be treated as such. One or more of the following methods should be incorporated in the entrance design.

- 1) A change in wall / window plane or wall articulations around the door projecting beyond the door.
- 2) Placement of art or decorative detailing at the entry.
- 3) A projecting element above the entrance.
- 4) A change in material or detailing.
- 5) Implementation of architectural elements such as flanked columns or decorative fixtures.
- 6) Recessed doors, archways, or cased openings.
- 7) A portico or formal porch projecting from or set into the surface.
- 8) Changes in the roofline, a tower, or a break in the surface to the subject wall.
- 9) Upper floor entries at the street frontage should have their own distinct design that compliments the main building frontage.

### 5.5 Windows and Doors

- 1) At the street level, windows should have pedestrian scale and detail. The framing provides opportunity for color variation and detail.
- 2) Clear glass is recommended on street level to create interesting interior shop views for pedestrians. Heat gain can be limited by implementing awnings, recessed storefronts, polarized glass, or professionally applied UV film. Reflective, mirrored or tinted glass above 50% is strongly discouraged.
- 3) Storefront windows and doors should be of the same style. The line established by uniform storefront heights helps to establish a sense of scale for pedestrians.
- 4) Windows on upper floors should reinforce the typical rhythm of upper story windows found on traditional commercial buildings.
- 5) The first floor of commercial buildings should be predominately transparent to help distinguish it as a more publicly oriented space. Windows, when combined with entry doors, should occupy 50% to 70% of a first-floor frontage. The second- and third-story windows should make up a minimum of 30 to 50% of the wall area.
- 6) Windows and doors should be in scale with the building elevation on which they appear. Recessed openings, windows and doors provide depth and can help break up the apparent mass of a large wall.
- 7) Operable windows are encouraged to provide natural air circulation and allow interchange between indoor and outdoor spaces.

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- 8) Sliding doors and windows shall be prohibited along primary facades, except to access porches serving residential or lodging uses on the second or higher story.

### 5.6 Awnings

- 1) Awnings add color, forms, relief, and pedestrian protection from the elements. They may also create a space for identification signage.
- 2) Awnings, as well as signage, help to clearly demarcate building entries and help orient pedestrians.
- 3) Awning maintenance should be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners should not propose installing awnings unless they are prepared to replace the awnings every eight to ten years.
- 4) Awnings with imprinted signage are encouraged. Lettering style and size should be in scale with the awning and adjacent awnings subject to the existing sign ordinance.
- 5) Awnings should be made of cloth (not plastic or vinyl) and should be high enough so as not to inhibit pedestrians.
- 6) Awnings should not be wrapped around buildings in continuous bands. Awnings should only be placed on top of doors, windows, and other openings.
- 7) Awnings should not dominate the facade, but should be in scale with the rest of the building.
- 8) Awnings should be regularly maintained and kept free from tears, fading, and stains.
- 9) Awnings, if lighted, should be lit with direct, architecturally interesting and appropriate fixtures such as goosenecks.
- 10) Awnings should be placed within vertical elements when the facade of a building is divided into distinct structural bays.

### 5.7 Building Materials and Texture

New buildings should use materials that are similar to or compliment the Village's historic buildings. The selection and placement of building materials should provide visual interest at the pedestrian level. Heavier materials should be used to form the building base and as accents on upper stories and walls. Architectural details should be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms.

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### 5.7.1 Exterior Materials

The following listings of appropriate and inappropriate materials were developed based upon the professional judgment and opinions of those involved in the development of these guidelines. The materials listed as “appropriate” have generally stood the test of time and have desirable aesthetic qualities, while those listed as “inappropriate” have failed to do so. Certain materials have been omitted because their success or failure has more to do with the overall design, rather than the materials themselves. These listings are intended to provide general guidance, and are not intended to be exhaustive. Designers should not feel that they must limit their material palette to the following selections. New materials and refined fabrication methods are continually being introduced and the Village of Clayton encourages designers to take advantage of these innovations.

- 1) Appropriate roof materials include slate (either natural or man-made), shingle (either wood or asphalt composition), and metal formed to resemble “standing seams.”
- 2) Inappropriate roof materials include white or blue shingles, single ply rolled roofs on pitched roofs, and corrugated metal roofing materials.
- 3) Appropriate primary wall materials include clapboard (including wood, or cementations imitation clapboard siding), native stone, or brick or a shape, color, and texture very similar to that found in Clayton’s historic structures.
- 4) Inappropriate primary wall surfaces include metal, white brick, or “T-111” plywood siding, imitation stone or exterior insulation finish systems (E.I.F.S.).
- 5) Balconies and porches visible from the street right-of-way should be built of wood, metal, or concrete.
- 6) Pressure-treated lumber may be utilized for concealed structural members, and structures not visible from the street right-of-way.
- 7) All exposed surfaces visible from the street right-of-way, including floor decks, stairs, railings, columns, brackets and any other structural and/or decorative roof support members, should be built with paint grade finish lumber or metal.

### 5.8 Colors

The Village of Clayton encourages variety and artfulness in the selection of exterior colors for buildings in the Riverwalk C District, and does not wish to place any pre-emptive restrictions on color choices. The following guidelines are intended to promote well-coordinated color palettes that integrate with the other exterior features of a building.

- 1) Buildings should keep a balanced color palette between base colors and “brighter” or “darker” accent colors on each building.
- 2) Door and window trims and awnings provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim should be coordinated with the wall colors.
- 3) Colors should be coordinated with other adjacent buildings.
- 4) Bright colors with intense and bright hues (e.g. primary or neon colors) are not recommended as primary exterior wall colors.



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## 6.0 UTILITARIAN ASPECTS OF THE BUILDINGS

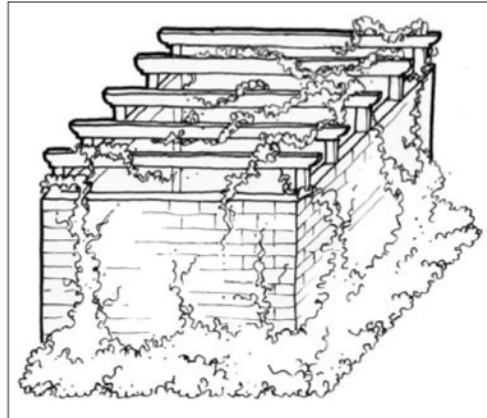
Utility service areas should be part of the early building design process, rather than an afterthought at the construction document phase.

### 6.1 Screening of Utilitarian Equipment

- 1) Service, utility, and loading areas should be carefully designed, located, and integrated into the site plan. These critical functional elements should not detract from the public view shed area.
- 2) Siting of noise and odor generating functions on any Riverwalk C District site that may create a nuisance for the adjacent properties should be avoided.
- 3) Roof access should be provided from the interior of the building. Exterior roof access ladders are inappropriate.

### 6.2 Trash Enclosures

- 1) Every property should provide a trash enclosure that is capable of handling the refuse generated by that site. Recycling bins should be integrated into the enclosure.
- 2) Trash and recycling storage areas should be located at rear or interior side yards.
- 3) Refuse collection enclosures, where applicable, should be 4 to 6 feet in height and be constructed of durable, low maintenance and noncombustible materials that blend with adjacent building designs. Landscaping around the enclosures is also encouraged. See Figure 8.
- 4) Gates on refuse collection enclosures should be self-closing, self-latching with interior opening mechanisms for escape outlets.



*Figure 8: Example of a screened trash and recycling storage area.*

### 6.3 Disabled-Accessible Ramps and Railing

- 1) Ramps and guardrails used as a means of egress must conform to the criteria listed in the Uniform Building Code.
- 2) Guardrails should compliment the architectural style of the building while conforming to the Uniform Building Code.
- 3) Ramps can be integrated into the site design creating functional or unique spaces.

### 6.4 Exterior Utility Panels

- 1) Utility service areas, such as electrical panels, should be placed within enclosures that are architecturally integrated into the building design.

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### 6.6 Roof Drainage

- 1) Gutters and downspouts on the exterior of the building should be decorative or designed to integrate with the building facade.
- 2) Roof scuppers should not be used in areas that are visible to the street or public spaces.

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### 7.0 LIGHTING

Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to on site lighting for private development projects in parking areas and lights associated with the building. Light types could include pole lights, spotlighting, wall-mounted sconces, parking and landscape lighting.

- 1) An illumination plan and photometric analysis shall be submitted with architectural and site plans for review and approval. This plan shall provide the luminary data for each light source. The purpose is to ensure that adequate lighting is provided without excessive overlap of illuminated areas. Sensitivity to the mix of residential / commercial uses should be considered in choosing light sources and footcandle power. Lighting should be designed to provide ambiance, safety, and security without unnecessary spill over or glare onto adjacent properties. This is particularly important for the residential users who may be located on a second or third floor above a commercial use.
- 2) The quality of light, level of light as measured in footcandles, and the type of bulb or source should be carefully addressed. Lighting levels should not be so intense as to draw attention to the glow or glare of the project site.
- 3) Spotlighting or glare from any site lighting should be shielded from adjacent properties and directed at a specific object or target area. Exposed bulbs should not be used. Cut-off lighting is preferred.
- 4) The major source of lighting should be from streetlights and window display areas.
- 5) Light fixtures should be designed or selected to be architecturally compatible with the main structure and the theme of the Village.
- 6) Up-lighting of building elements and trees are effective and attractive lighting techniques that are strongly encouraged.
- 7) Low-voltage lighting conserves energy and should be used in the landscape whenever possible.
- 8) Colored lights are discouraged.
- 9) Height of a light pole should be appropriate in scale for the building or complex and the surrounding area. Pedestrian light poles along sidewalks or pathways and parking lot light standards should be 10' to 15' high.
- 10) Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants / trees.
- 11) Indirect window display lighting is encouraged to create an interesting and friendly atmosphere. Interior store lights should be left on after the store has closed.

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### 8.0 PLANT MATERIALS AND LAYOUT

- 1) Trees and shrubs should be located and spaced to allow for mature and long-term growth. Trees and shrubs should provide minimal root problems.
- 2) Planters should be planted primarily with native plants that are low maintenance.
- 3) Accent planting should be used around entries and key activity hubs.
- 4) Trees should be used to create an intimate scale, enclose spaces, and frame views, but their placement should respect the long-range views of surrounding neighbors.
- 5) Planting should be used to screen less desirable areas from public view, i.e., trash enclosures, parking areas, storage areas, loading areas, and public utilities.
- 6) Consideration of seasonal shading from trees and shrubs should be considered when developing planting schemes for courtyards and streetscapes.
- 7) Deciduous trees provide solar control during summer and winter while providing fall color, seasonal flower and other desired effects.

# AMENDMENTS TO TOWN OF CLAYTON ZONING ORDINANCE

I. ARTICLE II (b)– Definitions, shall be amended by changing the definition of Small Commercial Enterprise to read as follows:

SMALL COMMERCIAL ENTERPRISE: A business intended to sell and trade retail goods, products or services to residents of the immediate community. Such enterprises shall include grocery stores, boat storage operations, small implement dealers, small manufacturing operations, restaurants, beauty parlors, barber shops, and similar businesses, but shall not include industrial operations or machine and welding shops.

ARTICLE II (b)- Add the following definitions

## COTTAGE COLONIES

An aggregation of two or more cottages used for commercial rental.

## FARM WINERY:

An agricultural operation for the growing of grapes and the preparation, processing, marketing, and distribution of wine in addition to all uses that are allowed by the "Farm Winery Act of 1976".

## SMALL MANUFACTURING OPERATION:

A business intended to manufacture items for sale or trade. The operation shall occupy a building area of no more than 2000 square feet nor employ no more than two employees

II. ARTICLE III – Establishment of Zoning Districts. (a) District Designations shall be amended by adding the following thereto.

## A-IR Agricultural-Island Residential

Purpose: To provide a low-density mix of agricultural and residential uses consistent with rural open space characteristics which are both appropriate to and compatible with the maximum protection of the aesthetic and environmental quality of the St. Lawrence River and its tributary waters.

The boundary of the Agricultural-Island Residential district is designated as follows: The district boundary is all that land that is 400' inland of the high water mark surrounding Grindstone Island, and the district shall encompass all of the land to the interior of the district boundary as depicted on the Zoning Map dated \_\_\_\_\_. The Zoning Map, as filed in the Town Clerk's Office, shall be amended and re-dated to reflect the boundaries of the Agricultural and Island Residential district.

ARTICLE III(d) shall be amended by adding the following districts at the end of the list:

Wind Energy Facility Overlay District (WEFOD)  
 Agricultural-Island Residential (A-IR)

III. ARTICLE V P- District Regulations Schedule A – cont. shall be changed to continued in the all the headings.

IV. ARTICLE V – District Regulations Schedule A – Use Regulations shall be amended to add the following thereto:

<u>District</u>	<u>Permitted Uses</u>	<u>Permitted Accessory Uses</u>
A-IR Agricultural- Island Residential	Agricultural operations Agricultural uses Modular homes Single family dwellings  <u>Uses requiring Special Use Permit</u>  Churches or parish houses Cemeteries Educational Institutions Trails, Multi-use Large storage buildings Two-family dwelling Air strips, Landing fields and Heliports	Barns, silos and other agriculturally-related buildings Home occupations Patios, decks and gazebos Private garages and carports Private greenhouses Private swimming pools Professional Offices Roadside stands for sale of agricultural products grown on premises Small storage buildings

V. ARTICLE V – DISTRICT REGULATIONS Schedule A – Use Restrictions Continued shall be further amended by adding the following permitted uses to the Agricultural-Rural Residential District:

Agricultural Operations  
 Farm Wineries

ARTICLE V - DISTRICT REGULATIONS, Schedule B - Dimension Requirements amended by adding the following:

District and Use	Maximum Lot Coverage	Minimum Lot Area	Minimum Lot Width	Minimum Front Yard(1)	Minimum Side Yard	Minimum Rear Yard	Maximum Building Height
<b>A-IR Agricultural-Island Residential</b>							
Permitted Uses	25%						
-if individual wells & septic tanks		40,000 sq. ft.	150 ft.	50 ft.	15 ft.	30 ft.	35 ft.
Accessory Uses (2)	25%			30 ft. (3)	15 ft.	30 ft.	35 ft. (7)
Special Use Permit		40,000 sq. ft.	150 ft.	50 ft.	15 ft.	30 ft.	35 ft. (4)
Lot of Record	25%	15,000 sq. ft.	100 ft.	50 ft.	15 ft.	30 ft.	35 ft.

VII. ARTICLE VII: SPECIAL REGULATIONS (L)(2) shall be amended to read as follows:

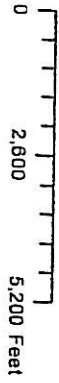
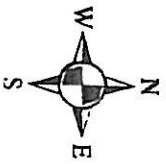
2. Fences, walls and shrubbery along all front property lines and along side property lines as far from the front as the setback specified for the district in which located shall not exceed four and one-half feet in height measured from the original grade. From said setback fences, walls and shrubbery around the remaining perimeter of the side and rear yards shall not exceed six feet in height measured from the original grade, except where otherwise required by specific provisions of this Article.

VIII. ARTICLE VII: (L)(3) shall be amended to read as follows:

3. Fences, walls and shrubbery shall be so constructed and maintained that they do not constitute a safety hazard and so that they are not visually or aesthetically detrimental to the neighborhood. There must be a clear line of sight at all intersections. The use of barbed wire and/or electrically charged fences shall be restricted to Agricultural uses only.



# Grindstone Island Town of Clayton Proposed 400 ft Setback from Shoreline

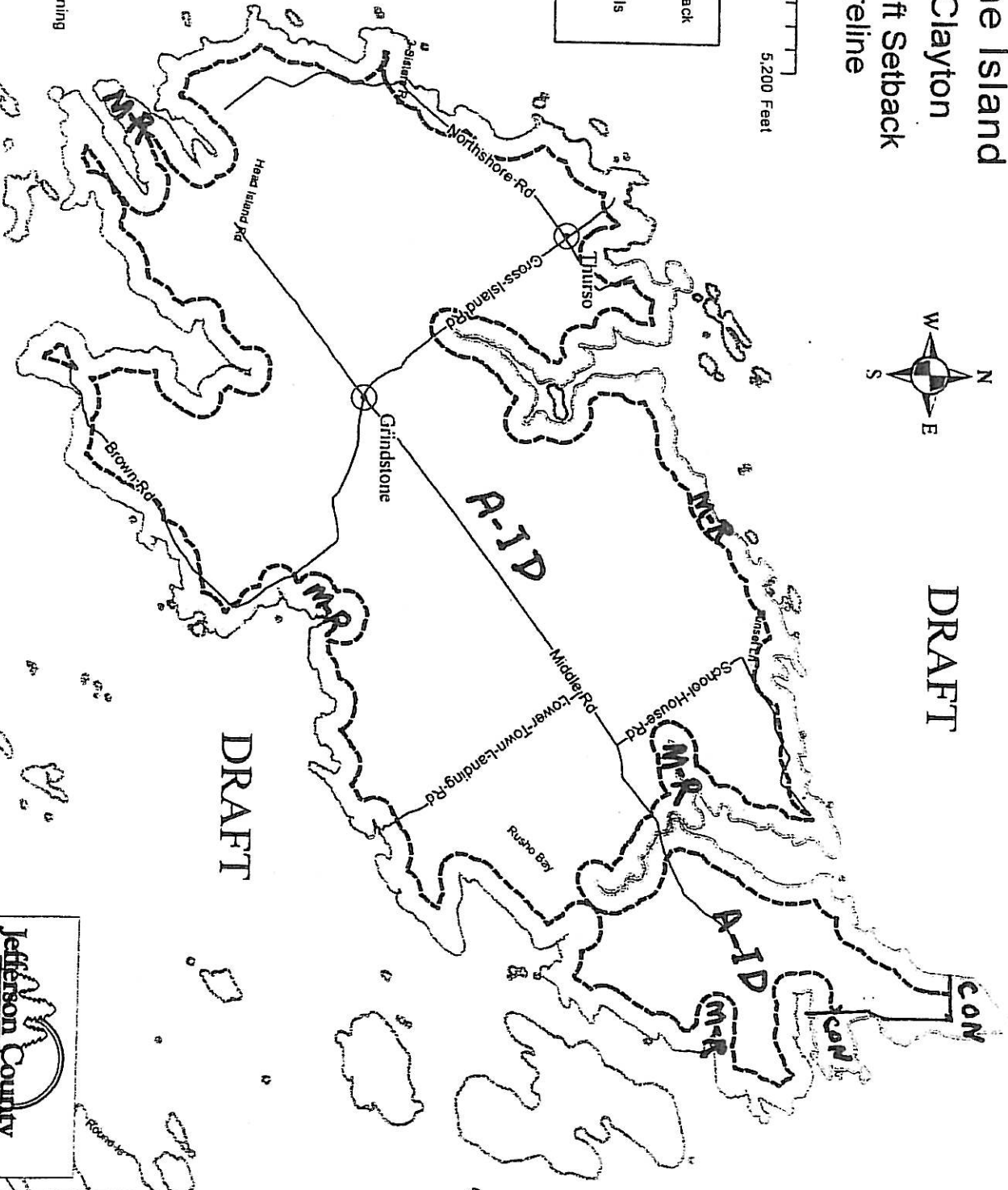


	400 ft Setback
	Hamlets
	2008 Parcels
	Clayton

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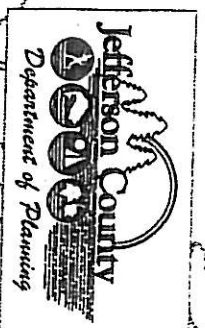
DRAFT



Created by:  
Jefferson County Department of Planning  
M. Bunny, 9/2008

Data sources:  
NYS CSCIC 2005  
Jefferson County Real Property Tax Services 2008  
Jefferson County Department of Planning 2008

This map is for general reference purposes only.  
Contents are not survey-grade.





**TOWN OF CLAYTON RURAL DESIGN GUIDELINES AND  
SCENIC PROTECTION OVERLAY DISTRICT**

October 26, 2009

INSERT THE FOLLOWING INTO THE PREAMBLE:

**SITING AND DESIGN GUIDELINES**

A. The Town of Clayton encourages development that is compatible with the existing character of the Town. To that end, the Town Board hereby adopts as advisory guidelines the illustrated design guidelines published by the New York Planning Federation in 1994, entitled *Hamlet Design Guidelines, Building Form Guidelines, and Rural Development Guidelines* (hereinafter "the Guidelines").

UPDATE THE FOLLOWING FROM THE ARTICLE V-DISTRICT REGULATIONS USE TABLE UNDER THE AR-AGRICULTURAL AND RURAL RESIDENTIAL DISTRICT:

DELETE: Racetracks

REQUIRE SPECIAL PERMIT: Drive-in restaurants and food takeout facilities, Trucking terminals, Shopping Centers.

INSERT THE FOLLOWING OVERLAY DISTRICT:

**SCENIC PROTECTION OVERLAY DISTRICT (SPO)**

A. Findings and Purpose. Special protection of scenic road corridors is necessary to preserve the attractive rural and historic quality of the Town. The purpose of this Section is to regulate land uses within designated scenic corridors to protect the Town's scenic beauty and rural character. This section is intended to apply to those road corridors that are visible to the public and that substantially retain their scenic character.

B. Boundaries. The SPO District includes land lying within 800 feet of the right-of-way of NY State Routes 12 and 12E within the Waterfront Revitalization Area boundary.

C. Regulatory Effect on Land Uses. Within the SPO District, all of the underlying land use district regulations remain in effect, except as they are specifically modified by this Section.

D. Site Plan Approval Requirement. Within the SPO District, Site Plan approval shall be required for the following uses and activities (including residential uses that are otherwise allowed without site plan review by Schedule A-Use Restrictions):

- 1) Construction of any structure greater than 500 square feet in footprint area, including residential structures, on an existing undeveloped property as of [INSERT DATE OF ADOPTION].
- 2) Within any one-year period, in any location that is visible from a publicly accessible place (*Add to Definitions: **Publicly Accessible Place:** Any land or structure that is open to the general public, such as a public road, park, public school, recreation area, conservation area, or place of public accommodation such as a restaurant or hotel, excluding private retail and service businesses, offices, and other private property which is open to the public.*) when there are no leaves on the trees:
  - a)
  - b) Grading or other alteration of more than one (1) acre of the natural landscape, including construction of roads and driveways.

**TOWN OF CLAYTON RURAL DESIGN GUIDELINES AND  
SCENIC PROTECTION OVERLAY DISTRICT**

October 26, 2009

E. Site Plan Approval Exemptions. Within the SPO District, the Site Plan approval requirement shall not apply to:

- 1) Agricultural uses, except for agricultural structures with a footprint exceeding 10,000 square feet.
- 2) The repair and maintenance of existing structures.
- 3) Activities carried out pursuant to a Site Plan or Special Use Permit approved prior to the enactment of this Section and still in effect.
- 4) Clearing and grading associated with construction of unpaved hiking trails.
- 5) Any other activity not included in (D) above.

F. General Standards. Within the SPO District, Site Plan approval may be granted if, with appropriate conditions attached, the proposed activity:

- 1) Will not significantly impair scenic character and will be aesthetically compatible with its surroundings.
- 2) Will minimize the removal of native vegetation, except where such removal may be necessary to open up or prevent the blockage of scenic views and panoramas from publicly accessible places.
- 3) Will locate and cluster buildings and other structures in a manner that minimizes their visibility from public places.
- 4) Will not result in clearing a building site area, including accessory structures and parking areas (excluding the area required for driveway and utility access), greater than 30,000 square feet in area for a single-family residence. This building site area shall be designated on the approved plan by a "building envelope," and all buildings and parking areas shall be located within the building envelope, except where additional clearing is required by the County Health Department for siting a subsurface sewage disposal system. Clearing for such disposal systems shall occur, to the maximum extent practical, where it will not detract from the visual protection purposes of this section.
- 5) Will consider the use of shared driveways and access to adjacent parcels. The minimum recommended spacing between driveways on the same side of the street is 500 feet. Access connections on opposite sides of the street should be aligned or off-set so as to eliminate left-turn conflicts. (The Planning Board, as part of site plan review, should evaluate the effect of proposed driveway locations on development of abutting properties. Proposals for shared driveways may require cross access easements.) See figures 1 and 2.
- 6) Will comply with the requirements in Sections G through J below, except where site features are screened from public roads or trails.

TOWN OF CLAYTON RURAL DESIGN GUIDELINES AND  
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October 26, 2009

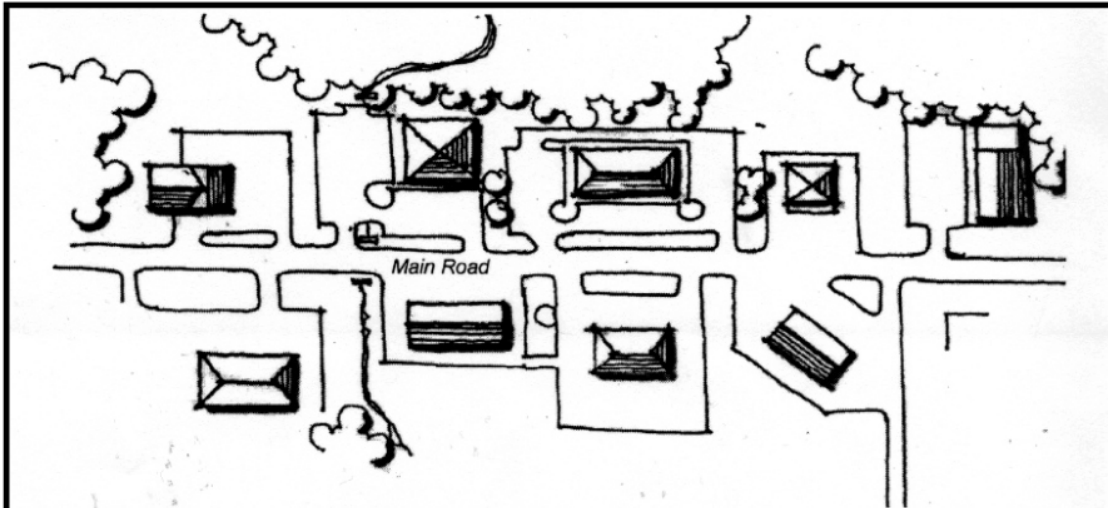


Figure 1. Plan illustrating the negative impacts of multiple curb cuts-removal of vegetation, wasted pavement for parking, and hazardous vehicle entries and exits.

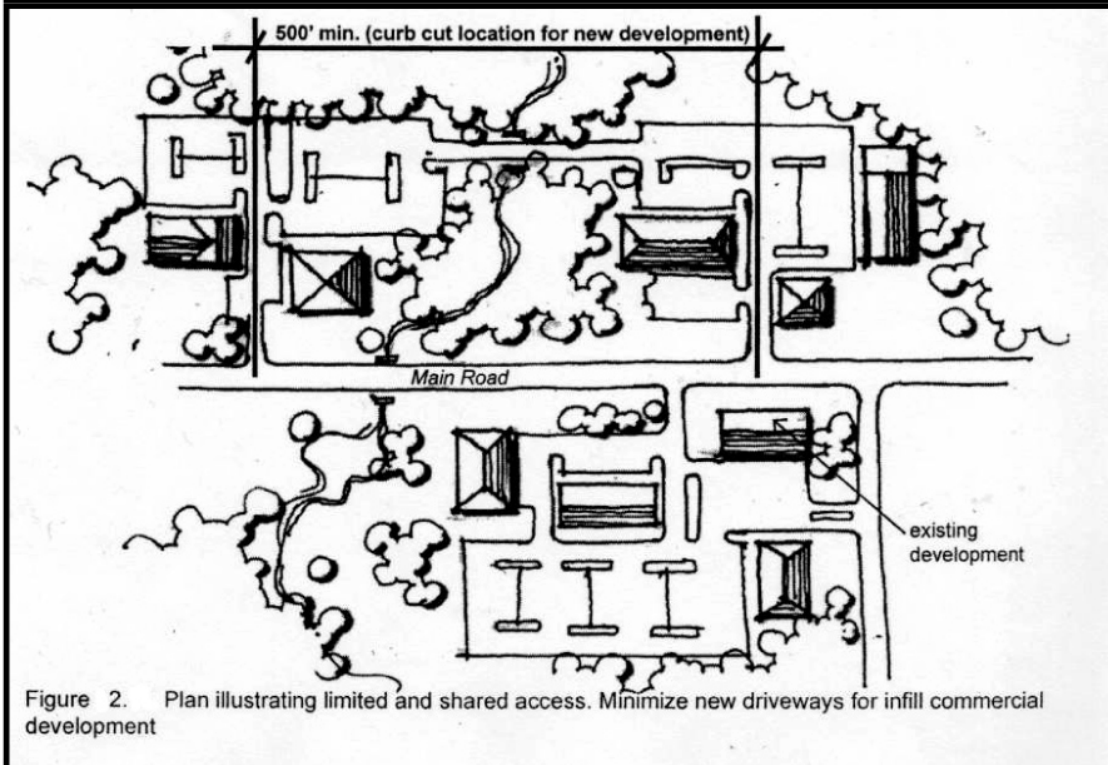


Figure 2. Plan illustrating limited and shared access. Minimize new driveways for infill commercial development

G. Landscape

- 1) A continuous green buffer, at least 100 feet deep along Routes 12 and 12E and 50 feet deep along the other roads or trails, shall be retained. This buffer shall consist of native trees and shrubs, as well as fields, meadows, and lawn areas. Bike paths and/or sidewalks may be constructed within this landscaped buffer. This buffer requirement shall not apply in the immediate area around existing residences located within the buffer area.

**TOWN OF CLAYTON RURAL DESIGN GUIDELINES AND  
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- 2) To the maximum extent practical existing trees, lawns, and shrubs shall be preserved, unless they are proposed to be replaced by native trees or other native vegetation deemed appropriate by the Planning Board.
- 3) Trees shall be planted as deemed necessary by the Planning Board to reduce visibility of new structures from public roads or trails.
- 4) Clear-cutting of trees shall be prohibited in any location where such clear-cutting would alter the crest line of a ridge when that crest line is viewed from any publicly accessible place.

H. Architecture

- 1) Existing structures with historic or architectural significance, including barns shall be retained to the extent practical. Alterations to such structures shall be compatible with the architecture of the existing structure. New structures shall not negatively impact historic structures in their vicinity.
- 2) The Planning Board shall consult the *Building Form Guidelines* referred to in the Preamble considering any applications under this section.

I. Maximum Footprint.

30,000 square feet maximum footprint for non-residential structures. Buildings with footprints greater than 20,000 square feet should have a minimum of 30% of each structure as 2 stories. A typical rural roof form should also be applied to this additional story.

*Note: this maximum footprint would exclude agricultural structures, residential accessory structures, structures used in connection with educational, religious, or charitable uses, camps, and all structures legally completed or granted a building permit, Special Permit, Site Plan approval, or variance prior to the adoption of this update. The purpose of this requirement is to maintain the historic scale and character of development along Clayton's scenic roads. The intent of this provision shall not be evaded through the placement of multiple large buildings on the same site or otherwise in a pattern that is inconsistent with the scale and character of the Town.*

J. Fences.

Chain link fences and stockade or other fence designs that block visual access to land along the Route 12 and 12E road corridors shall be prohibited, unless such fences are necessary to screen a pre-existing use that does not conform to the requirements of this section.

K. Rural Siting Principles

New development in the SPO District shall comply with the General Rural Development Principles found on page 4 and 5 of the *Rural Development Guidelines*.

L. Photographic Simulations

In connection with its review of a site plan review application within the SPO District, the Planning Board may require the applicant to conduct a photographic simulation in order to determine whether or not a proposed structure or activity will when viewed from a publicly accessible place adversely affect scenic quality.

M. Waivers

The Planning Board may waive one or more of the specific requirements of this section upon a written finding that such waiver will not impair the scenic preservation purposes of the SPO District. Any development which is the subject of a detailed visual assessment as part of an Environmental Impact Statement shall be eligible for such waivers if supported by SEQR findings.

**TOWN OF CLAYTON RURAL DESIGN GUIDELINES AND  
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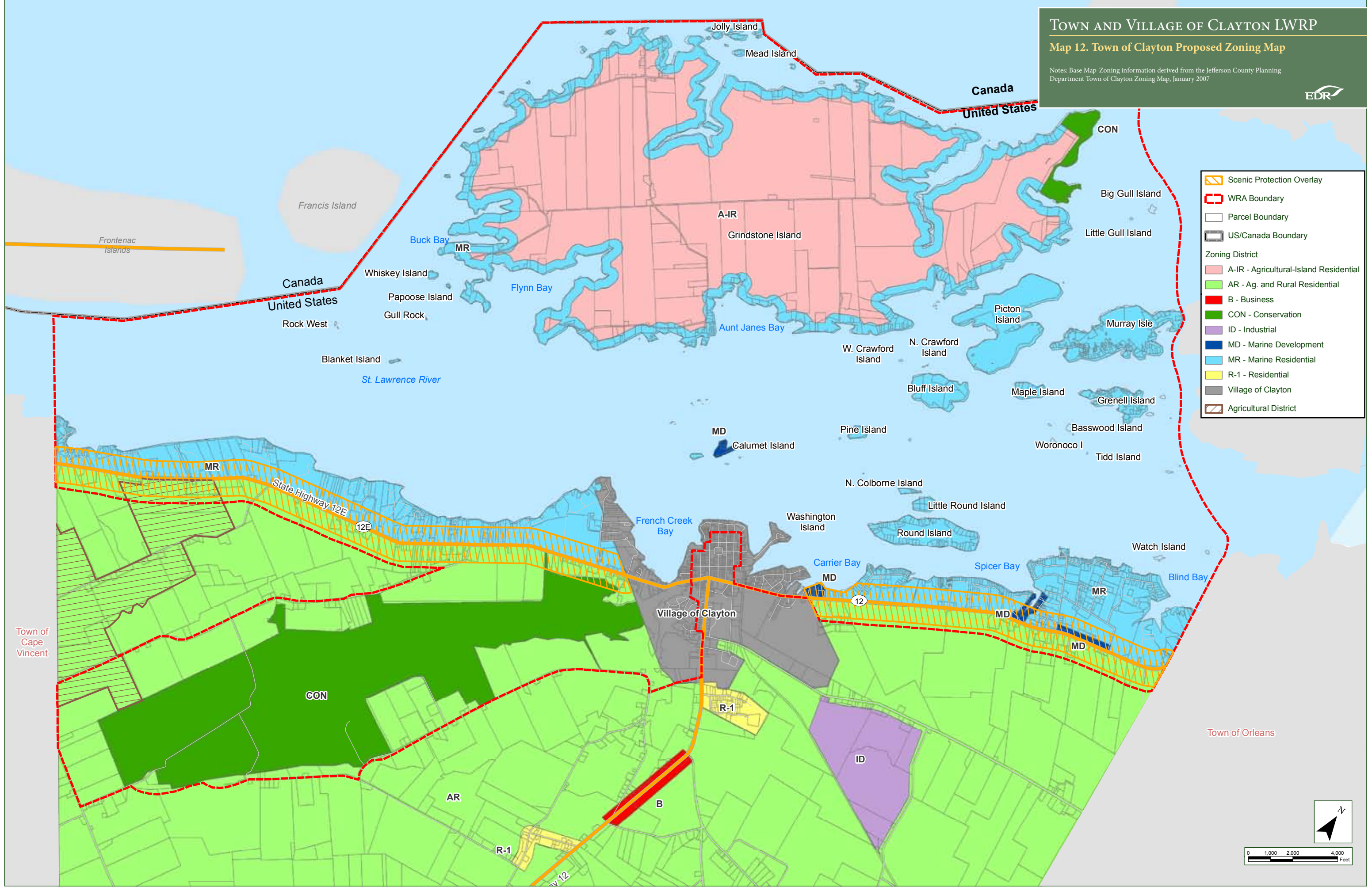
October 26, 2009

UPDATE THE SIGN ORDINANCE SECTION IN ARTICLE VII: SPECIAL REGULATIONS:

- Update Off-Premises sign regulations (i.e., No off-premises commercial signs shall be allowed, except that signs not exceeding four square feet directing the public to specific establishments may be allowed with site plan approval by the Planning Board.)

**TOWN AND VILLAGE OF CLAYTON LWRP**  
**Map 12. Town of Clayton Proposed Zoning Map**

Notes: Base Map-Zoning information derived from the Jefferson County Planning Department Town of Clayton Zoning Map, January 2007



	Scenic Protection Overlay
	WRA Boundary
	Parcel Boundary
	US/Canada Boundary
Zoning District	
	A-IR - Agricultural-Island Residential
	AR - Ag. and Rural Residential
	B - Business
	CON - Conservation
	ID - Industrial
	MD - Marine Development
	MR - Marine Residential
	R-1 - Residential
	Village of Clayton
	Agricultural District

Town of Cape Vincent

Town of Orleans

