

# Clayton Local Development Corporation Annual Report 2013

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## **CLDC Mission Statement:**

*The mission of the CLDC is to relieve and reduce unemployment; to promote and provide for additional and maximum employment; to better and maintain job opportunities; to carry on research for the purpose of aiding the communities of the Town and Village of Clayton by attracting business opportunities to said communities or encouraging the development of new, or retention of existing, business opportunities in the communities; lessening the burdens of government; and to act in the public interest, including promoting reuse of brownfield sites within the Town and Village of Clayton.*

## CLDC Board Members 2013

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### **Officers**

#### Chair

Michael Geiss, retired from NYS Office of Parks & Recreation

#### Vice-Chair

Roland Baril, Chairman of the Clayton Joint Planning Board, Ex-Officio Member

#### Treasurer

Justin Taylor, Supervisor of the Town of Clayton, Ex-Officio Member

#### Secretary

Dr. John Slattery, retired Superintendent of Schools for Thousand Islands Central School District, Community Member

#### Assistant Secretary

Christopher Bogenschutz, President of the Clayton Chamber of Commerce, Ex-Officio Member

## **Ex-Officio Members**

Norma Zimmer, Village of Clayton Mayor

Michael Docteur, Jefferson County Legislature, District #1

Frank House, Superintendent of Schools, Thousand Islands School District

Larry Aubertine, Vice-Chairman of Clayton Joint Planning Board, Ex-Officio Member

## **Community Members**

John Kehoe, retired Air Force Colonel

Cary Brick, Chairman Clayton Heritage Alliance; Retired Chief of Staff, US House of Representatives (NY 23)

Kathy LaClair, Town of Clayton Clerk

Walt Christensen, local business owner

Rebecca Hopfinger, Director of Development, Antique Boat Museum

Lori Durand, local business owner

### **Relocation**

In late summer of 2013, the Clayton Local Development Corporation relocated its offices to 913 Strawberry Lane. This relocation was part of a shared services agreement with the Clayton Improvement Association, Ltd. The two non-profits are sharing office space and professional services.

### **Frink Property**

The Clayton LDC sold the Frink Property to the Krog Corporation and Hart Hotels. The sale of the property was the culmination of many years of planning and hard work. During this time the LDC remediated the contaminated property, worked with consultants to determine the best use of the property, actively searched for qualified developers, and finally, selected a qualified developer whose plan would most benefit the community.

In May 2013, The Krog Corporation and Hart Hotels began construction on a 104 room destination hotel. The hotel should be fully



operational for the 2014 summer season and is expected to employ 90 people. This new hotel will significant impact on the local economy.

### **Boating Infrastructure Grant Program**

In April 2010, the CLDC, in partnership with the Town of Clayton, Village of Clayton, and Clayton Chamber of Commerce received \$1.7 million in funding from the U.S. Fish & Wildlife Service. The US Fish & Wildlife Service funds the Boating Infrastructure Grant Program through excise taxes on boating and fishing equipment and boating fuel. The BIG Program mandates that the funding be put back into the boating community by constructing facilities that benefit transient boaters. Transient boaters are defined as visitors with boats more than 26' in length for less than ten days.

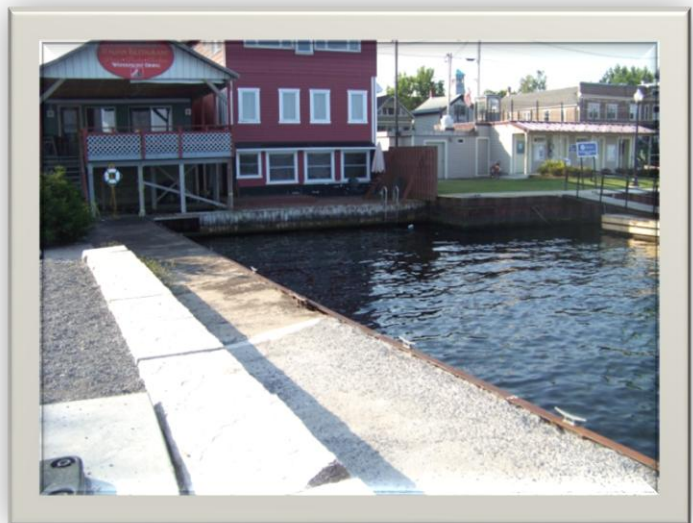
In 2013 the marine consultant Applied Technology Management (ATM) completed design documents and put the project to bid. Unfortunately, due to the expensive design, all bids came back significantly over budget. In the fall of 2013, the LDC and Town of Clayton ended their contract with ATM, as the company was unable to develop a design that fit the project budget. During this time, the LDC and Town of Clayton determined that the project would move forward more efficiently if the project were administered by a single entity. The LDC and Town agreed that the Town Board should oversee the project going forward. The Town used the Town Engineer to begin redesigning the project and updating the LDC on a monthly basis.

The Town is aggressively working to coordinate the project with the hotel construction in order to have the project operational in 2014.

### **Frink Park and Riverwalk Extension Project**

In 2010 the Village of Clayton received \$316,000 in funding from the NYS Department of State for the renovation of Frink Park and the extension of the Riverwalk to the Veterans Monument.

The Village of Clayton in partnership with the CLDC successfully completed the major renovation of Frink Park in 2012, resulting in a very popular park destination along the waterfront. The second phase of the project, the extension of the Clayton Riverwalk to the Veteran's Monument impacts four private property owners. After several years of discussions, there is one property owner who has refused to grant an easement to the Village for the project. At the end of 2013, the Village of Clayton had referred this final issue to its legal counsel.



## Restore NY III- Golden Anchor Property

In 2009 the Clayton LDC was awarded funding from NYS Empire State Development to revitalize two privately owned properties in the downtown area. The first phase of the project was the rehabilitation of the RJ Marine Building on 690 Riverside Drive. This renovation was successfully completed in 2012. The second phase of the project is the construction of a mixed use waterfront building on the former Golden Anchor site located at 428 Riverside Drive. This phase of the project has experienced delays over several years. In 2013, however, the property owner decided to move forward with the project and hired local architects, Aubertine & Currier to design the building. During 2013 design work was completed for the project, extensive land & seawall testing was conducted and the local permitting process was initiated. The mixed use building will feature a restaurant/brew pub on the water level, shops on the street level and custom apartments on the top floors. Construction is anticipated to begin in Spring of 2014 with completion during the winter of 2014-2015.

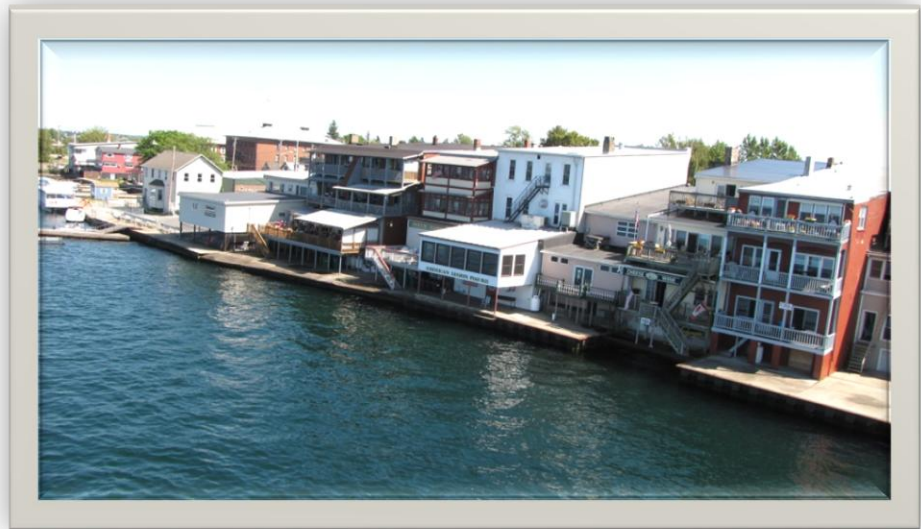




### Riverwalk 3

The Village of Clayton has begun exploring the next phase of the Riverwalk, known as Riverwalk 3. This phase will extend the Riverwalk from the Veterans' Monument to the vacant waterfront lot adjacent to Key Bank. This portion of the Riverwalk is located along the waterfront and behind the buildings along Riverside Drive. In the summer of 2013 the Village of Clayton hired

Aubertine & Currier to complete concept designs and preliminary engineering for this project. The concept design project's a total cost of \$1.58 million. In July 2013 the LDC supported the application of the Village of Clayton for \$1.19 million from the NYS DOT



Transportation Enhancement Program for \$1.19 million in funding for the project. Despite extremely positive feedback from the NYS DOT, the project did not receive funding. The LDC and Village plan to apply to the NYS DOT Transportation Advancement Program in 2014.

This phase of the Riverwalk would create a continuous walkway that traverses a large portion of the business district. It is a complex project involving eleven privately owned properties, multiple existing and new easements, filled lands, and deteriorating bulkheads.

### Underground Wires

The Clayton LDC is supporting the Village of Clayton in its work with National Grid and the NYS Department of Transportation towards burying the overhead electrical wires along Riverside Drive and northern James Street. These power lines are unsightly, but more importantly, create safety and maintenance issues. The power poles and the high voltage power lines are located extremely close to the buildings along the historic business district. The location of the power lines prevents any maintenance on the third floor of these historic buildings. The Village of Clayton is working with National Grid towards developing a plan to bury the power lines despite National Grid's reluctance to move forward with the project for a

multitude of reasons. At the end of 2013, the Village was in the process of finding funding for the cost for National Grid to design the project and create a cost estimate. The Village expects to have the completed design and estimate by early summer 2014.

## **Goals for 2014**

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### **PRIMARY GOALS**

1. Develop an economic development plan
2. Downtown underground utilities
3. Complete the extension of the Riverwalk to the monument
4. Develop a marketing plan for Clayton that would include, Tourism, Business/industry /commercial, living and cultural.
5. Golden Anchor- assist to get project underway
6. Develop a regional plan to bring Natural Gas to the northern part of the County from Watertown/Pamelia (Clayton/Cape Vincent/Orleans/Brownville and Alexandria)

### **SECONDARY GOALS**

7. Ensure the hotel's opening for Memorial Day 2014
8. Main Street – administer if awarded
9. Educate our citizens to embrace tourism
10. Continue to work on sidewalks & walkability issues
11. Redesign & rebid construction of transient docking facility with the intent to have the docks open with the hotel. (Town of Clayton has assumed responsibility)